



## Design Review Board

Regular Meeting  
<http://www.roswellgov.com/>  
~Agenda~

**Chair Jeffrey Green**  
**Vice Chair Mark Stovall**  
**Board Member Ian Atkinson**  
**Board Member Michael Guobaitis**  
**Board Member Arie Kohn**  
**Board Member Phiffer Reed**

Tuesday, March 3, 2026

6:30 PM

City Hall - Council Chambers

**\*\* Possible Quorum of Mayor and City Council \*\***

### **Welcome**

#### **I. Call to Order**

#### **II. Initial**

- 1. ZDRB-1125-000008 - 10471 Alpharetta Street - New construction**

#### **III. Election of Chair and Vice Chair**

- 2. 2026 Elections**

#### **IV. Approval of Minutes**

- 3. January 6, 2026 DRB Minutes**

#### **V. Adjournment**



**City of Roswell**  
**Design Review Board**  
**AGENDA ITEM REPORT**

**ID # - 10264**

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**MEETING DATE:** March 3, 2026

**DEPARTMENT:** Design Review Board

**ITEM TYPE:** Public Hearing

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**ZDRB-1125-000008 - 10471 Alpharetta Street - New construction**

**Item Summary:**

The applicant, Roswell Auto Care, is requesting approval of a new 2,550 square-foot auto service center at 10471 Alpharetta Street. This project has been in process since 2023 and is coming before the Design Review Board for approval of a replacement for an existing non-conforming building.

**Committee or Staff Recommendation:**

This item is being heard as an initial. staff recommends that the Design Review Board review the submitted plans provide comments to the applicant based on staff conditions and the Unified Development Code. Staff recommends that the applicant submit the following documents prior to their final meeting in April:

1. Revised site plan showing required streetscape and parking spaces.
2. Revised elevations removing the third service door from the side elevation and addressing transparency on the rear elevation.
3. Revised color rendering that matches the details in the elevations. Include gutters and downs spouts, lighting, as well as all proposed service doors onto the rendering.

If the Board chooses to hear this item as a final at this first meeting, staff has the following recommendations:

1. All staff comments, including those listed above, must be addressed at requisite permit stage.

**Financial Impact:** N/A

**Recommended Motion:**

Staff recommends this be heard as and Initial application only.

**Presented by:**

Kristen Thomasberger, Planner II

Petition No. ZDRB-1125-000008

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|                          |   |
|--------------------------|---|
| <b>Property Location</b> | <b>10471 Alpharetta Street</b>                      |
| <b>Zoning</b>            | <b>CX- Commercial Mixed Use</b>                     |
| <b>Applicant</b>         | <b>Roswell Auto Care/ Taylor Hicks</b>              |
| <b>Request</b>           | <b>New Construction of an Auto Service Building</b> |

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**Background**

The applicant, Roswell Auto Care, is requesting approval of a new 2,550 square-foot auto service center at 10471 Alpharetta Street. This project has been in process since 2023 and is coming before the Design Review Board for approval of a replacement for an existing non-conforming building.

**Project History**

- In 2023 the applicant submitted an administrative DRB application for renovations to the existing building exterior, which included new exterior façade and raising the roofline, and received approval on October 12, 2023.
- In 2024, the applicant submitted a subsequent DRB application modifying the proposed renovation that would utilize the existing building shell with minor changes to the exterior, the DRB application was approved on May 21, 2024. This application negated the 2023 DRB approval.
- In October of 2024 a demolition permit was submitted for the existing building and more than 50 % of the existing building was demolished. Per UDC 13.13.1 when a nonconforming building is damaged or partially destroyed to the extent of 50% or more “such structure may only be restored in conformance with this UDC.” Demolitions are not reviewed by the DRB, and no DRB application was required prior to issuance of the demolition permit.
- In 2025, the applicant was informed that the previous DRB applications were no longer valid, as the scope of the project changed and this would be considered new construction instead of a renovation due to the building demolition.
- In November 2025, the applicant submitted an application for a DRB Major for approval of the new building.

As the previously existing building was more than 50 % destroyed, any modifications would require the building to meet the current UDC requirements, including

Attachment: 1\_Staff Report- Initial (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

Build to Zone (BTZ). The existing building, prior to demolition, did not meet current UDC requirements, as the building was not in the build to zone setback requirement of 5 feet minimum to 20 feet maximum. Additionally, the building did not meet the required percentage of 75 % of the building located within the BTZ. The applicant wished to rebuild the structure in the existing footprint, and the code does give relief to applicants that are proposing to put a new building in the same footprint of a nonconforming building that is outside the BTZ. Per UDC 13.13.4 *Nonconforming Build-to requirement Letter C. Replacement Buildings*: “New buildings located outside of the build-to zone are allowed to replace an existing building. Where the replacement building has the same or a similar footprint, it must be approved by the Design Review Board.” Therefore, because the proposed new building will sit within the existing building footprint, outside of the required BTZ, and the size of the building is not increasing, the Design Review Board is able to approve the design and location without asking the applicant to receive a variance from the Board of Zoning Appeals. The applicant is not requesting to expand the existing nonconformities on the site.

### Site Analysis

Roswell Auto Care is located on .44 acres (approximately 19,340 square feet) along Alpharetta Street and is zoned CX commercial Mixed Use. To the north, across Alpharetta Street, sits two (2) CX properties with restaurant uses. The property to the east is zoned CX and currently has an auto dealer use. The property to the South, across Horton Drive, is zoned IX – Industrial Flex, and is a storage facility. The property to the west is zoned CX and is currently a vehicle service use. The current owner of the property is also the owner of the properties to the east and west abutting 10471 Alpharetta St.

The proposed project includes new construction of a 3,000 square foot building and stormwater management for runoff reduction. Additionally, the site will require streetscape, per the transportation department’s plan review comments, which includes sidewalks. The site plan will need to be amended to reflect these requirements. Due to the existing conditions, and the new building being placed in the existing footprint, there will not be any additions or changes to exiting landscaping and parking lot lighting. The existing site will only be modified due to streetscape and stormwater requirements.

The proposed building will be placed in the exact footprint of the building prior to demolition. This building will be outside of the BTZ and thus requires full DRB review and approval at a public meeting per UDC 13.13.4. *Nonconforming Build-to requirement Letter C. Replacement Buildings*. The following site photos demonstrate the proposed placement of the building based on the previous condition and the existing condition of the site. Picture A shows the building prior to demolition and Picture B shows the building and site in its current state after the partial demolition.



Picture A. Pre- demolition site and building

Attachment: 1\_Staff Report- Initial (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)



**Picture B. Post demolition site and building**

Attachment: 1\_Staff Report- Initial (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

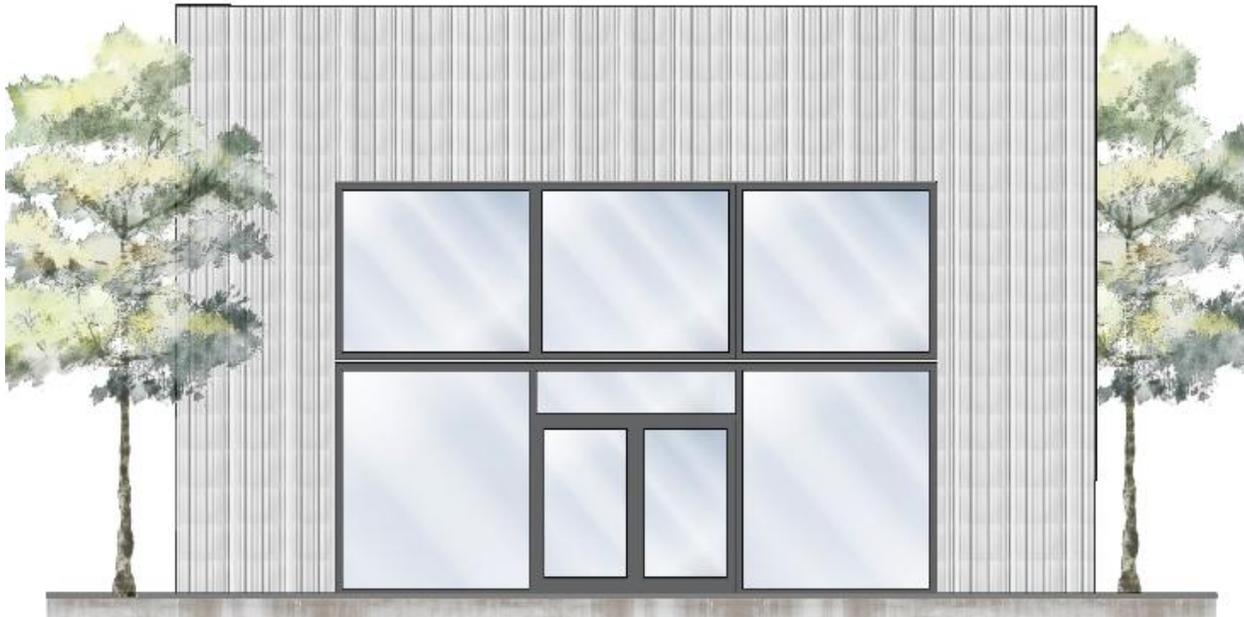
For the land disturbance permit application, staff will require all streetscape and parking spaces to be clearly marked on the site plan. Cars awaiting repair must be parked in designated parking spaces and cannot encroach the right of way, landscape areas or block the pedestrian access to the building or vehicle access on the site. All parking spaces must be clearly marked. Permanent vehicle storage is not permitted and all cars on the lot that are awaiting repair may only be stored up to 14 days per UDC 9.7.18. Staff recommends adding shrubs along the Alpharetta Highway frontage to ensure the vehicles awaiting repair are screened from the public right of way.

### **Elevations and Materials of Proposed Building Addition**

The applicant is requesting approval of a new single story, 24 foot tall, 2,550 square-foot auto service center. This building will sit in the exact footprint of the previous building prior to the demolition. Proposed materials include: light gray metal wall siding, dark gray metal siding/ roof, black metal roll-up doors, black aluminum storefront system, dark bronze wall light, and dark gray aluminum gutter and downspouts. The previous building had a prominent sloped roof, and the proposed design removes the substantial roof slope and makes the height uniform along the front and side elevations.

### **Front Elevation (Along Alpharetta Highway)**

The front elevation will feature a new black aluminum storefront system that increases the transparency from the previous building's design. The exterior façade will be dark gray metal with black metal accents on the roof, gutter and downspouts and lighting. (See picture C below).



**Picture C: Proposed rendering front elevation**

#### **Side elevations (Interior facing 10469 and 10473 Alpharetta Steet)**

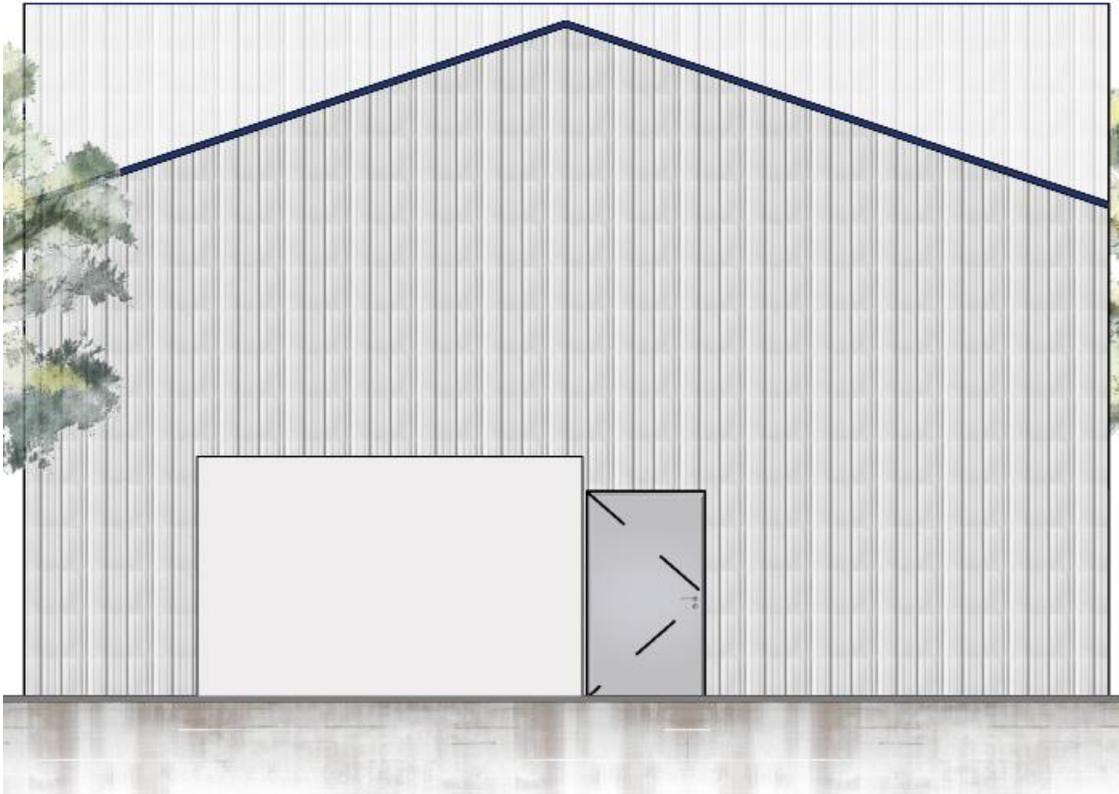
The side elevations will feature a new black metal roll up doors that increases the transparency from the previous building's design. The exterior façade will be dark gray metal with black metal accents on the roof, gutter and downspouts and lighting. (See picture D below). The right side elevation will need to remove one roll up door from the proposed elevation and replace with storefront system as only two (2) service doors on two sides of the building are allowed in the CX zoning per UDC 9.6.5 Letter C. Vehicle Repair Minor, # 2 Use standards, Letter D: ***In CX-, a maximum of two service bay doors no more than 24 feet in width each are permitted on two sides of the building.***



**Picture D. Proposed side elevations**

**Rear Elevation (Facing Horton Drive and Public Storage)**

The rear elevations will feature a new dark gray metal exterior façade and will be dark gray metal with black metal accents on the roof, gutter and downspouts and lighting. (See picture E below). The applicant will be required to add transparency on this elevation to meet the required 20 % per UDC 4.3.11. The applicant may choose to add alternatives to transparency per the UDC design guidelines that includes adding architecture details, wall art, raised planting beds, or vertical trellises.



**Picture E. Proposed rendering – rear elevation**

As this application is being heard as an initial at the March 3, 2026 DRB meeting, staff recommends that the Design Review Board review the submitted plans provide comments to the applicant based on staff conditions and the Unified Development Code. Staff recommends that the applicant submit the following documents prior to their final meeting in April:

1. Revised site plan showing required streetscape and parking spaces.
2. Revised elevations removing the third service door from the side elevation and addressing transparency on the rear elevation.
3. Revised color rendering that matches the details in the elevations. Include gutters and down spouts, lighting, as well as service doors onto the rendering.

If the Board chooses to hear this item as a final at this first meeting, staff has the following recommendations:

1. All staff comments, including those listed above, must be addressed at requisite permit stage.

## Attachments

Staff review comments, letter of intent, site plan, stormwater concept, elevations and renderings, material samples, and application.

Attachment: 1\_Staff Report- Initial (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)



## CITY OF ROSWELL, GA PLAN CORRECTIONS REPORT (ZDRB-1125-000008)

**PLAN ADDRESS:** 10471 Alpharetta Street  
**APPLICATION DATE:** 11/03/2025 **EXPIRATION DATE:** 11/03/2026 **PARCEL:** 12 -2091-0466-060-2  
**DESCRIPTION:** New construction of a new building **SQUARE FEET:** 0 **VALUATION:** \$100,000.00

| Contacts       | Name              | Company              | Address              |
|----------------|-------------------|----------------------|----------------------|
| Applicant      | Taylor Hicks      |                      | 205 Blacks Cabin Way |
| Owner          | MEHRPARVAR MAZIAR | ROSWELL CAR CARE LLC | 2695 AUGERON CT      |
| Representative | MEHRPARVAR MAZIAR | ROSWELL CAR CARE LLC | 2695 AUGERON CT      |

**Design Review**

| REVIEW ITEM  | STATUS                   | REVIEWER   |
|--|--------------------------|--|
| <b>Building Division v. 3</b><br>Approved with Conditions<br>Rhonda Donehoo-Faulkner email:  |                          |  |
| Review item used to allow building to comment during a plan review - Roswell<br>Correction: General - Rhonda Donehoo-Faulkner(12/18/25)Not Resolved<br>Comments: A-01 Demolition floor plan. Clarify scope of work. Will entire existing structure be demolished? Including slab/foundations? Wall legend is misleading, or<br>Corrective Action: N/A<br>Correction: General - Rhonda Donehoo-Faulkner(12/18/25)Not Resolved<br>Comments: Sheet E-2.2 NEC 2023 is current electrical code, not the 2020 edition.<br>Corrective Action: N/A<br>Correction: General - Rhonda Donehoo-Faulkner(12/18/25)Not Resolved<br>Comments: Sheet E-2.1 NEC 2023 is current electrical code, not the 2020 edition.<br>Corrective Action: N/A<br>Correction: Coordination - Rhonda Donehoo-Faulkner(12/18/25)Not Resolved<br>Comments: Ensure drawings are coordinated among all disciplines. Renderings must match architectural elevations on sheet A-03 |                          |  |
| <b>Engineering v. 3</b><br>Roswell Land Development<br>Comments: see conditions  | Approved with Conditions | Osmany Ordenez email: oordonez@roswellgov.com            |
| <b>Fire v. 3</b><br>Review by the Roswell Fire Department<br>Comments: This approval is for DRB only. A building permit must be applied for and approved before any work can begin. Plans shall be submitted in accordance with the 2024   | Approved                 | Robert Major email: rmajor@roswellgov.com                |
| <b>P&amp;Z DRB v. 3</b><br>P&Z DRB<br>Comments: Ready for agenda means that this application is ready to be heard at the next DRB meeting. This is not an approval of the design plan. Only the Design Review  | Ready for Agenda         | Kristen Thomasberger email: kthomasberger@roswellgov.com |
| <b>Sanitation v. 3</b><br>Roswell  | Approved                 | Nick Pezzello email: npezzello@roswellgov.com            |
| <b>Stormwater v. 3</b><br>Roswell<br>Comments: Erica Koh, ekoh@roswellgov.com  | Approved                 | Erica Koh Ph: (770) 817-6788 email: ekoh@roswellgov.com  |
| <b>Transportation v. 3</b><br>Roswell<br>Comments: • At LDP, resolve the following discrepancy: The application is for a new building. These plans show renovation of the existing building.<br>Recommendation: • At LDP, resolve the following discrepancy: The application is for a new building. These plans show renovation of the existing building.  | Approved with Comments   | Serge Osse email: sosse@roswellgov.com                   |
| <b>Tree v. 3</b><br>Tree - Roswell   | Approved                 | Laura Sommet email: ldadisman@roswellgov.com             |
| <b>Water v. 3</b><br>Roswell<br>Correction: Meter box and backflow location - Chris Boyd(1/15/26)Not Resolved<br>Comments: Need to show location of meter box and backflow prevention device on site plan sheet and Utility plan sheet.<br>Recommendation: This address is currently served by a 1" meter. Will this be sufficient to meet your water needs?<br>Recommendation: Need to show the service line connection from the building to the meter. Include the size and material.  | Approved                 | Chris Boyd email: cboyd@roswellgov.com                   |

Attachment: 1\_Staff Report- Initial (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)



**Date:** August 22, 2025

**To:**

City of Roswell | Community Development Department

**Re: Letter of Intent – Renovation and Use at 10471 Alpharetta Hwy, Roswell, GA (Repair Shop)**

Dear Plan Review Staff,

On behalf of **JW Cox Development**, we respectfully submit this Letter of Intent for the proposed renovation and continued use of the property located at **10471 Alpharetta Hwy, Roswell, GA**, currently identified as a **Repair Shop** with an approximate building area of **23,200 SF**.

The scope of work, as outlined in the attached plans prepared by **Ray Group Consulting Engineers, Inc.** (dated 11/22/2023 with revisions dated 05/29/25), includes:

- **Interior Renovations:** Buildout of offices, customer waiting area, reception, restrooms, utility, hallway, and service/storage spaces.
- **Electrical Systems:** Installation and coordination of new panel boards, receptacles, lighting systems (LED fixtures, emergency/exit lighting, occupancy sensors, etc.), and associated service upgrades in compliance with NEC 2020 and Georgia amendments.
- **Mechanical/HVAC Systems:** Installation of new HVAC units, exhaust fans, and ductwork per the design schedules provided, coordinated for energy efficiency and indoor air quality standards.
- **Life Safety Measures:** Provision of fire-rated walls, fire alarm devices, exit signage, emergency lighting, and compliance with applicable NFPA, State, and City codes.
- **Plumbing/Utility:** Utility service coordination as reflected in the submitted plans.
- **Exterior Improvements:** Building facade and site enhancements to align with City of Roswell design control standards, including signage coordination and overall site aesthetics.
- **Landscaping & Erosion Control:** Installation of landscaping per city requirements, incorporating best practices in erosion control and sustainable site management for long-term compliance.

This project is intended to preserve the property's function as an **automotive repair facility** while modernizing the building systems to meet current safety, accessibility, and code standards.



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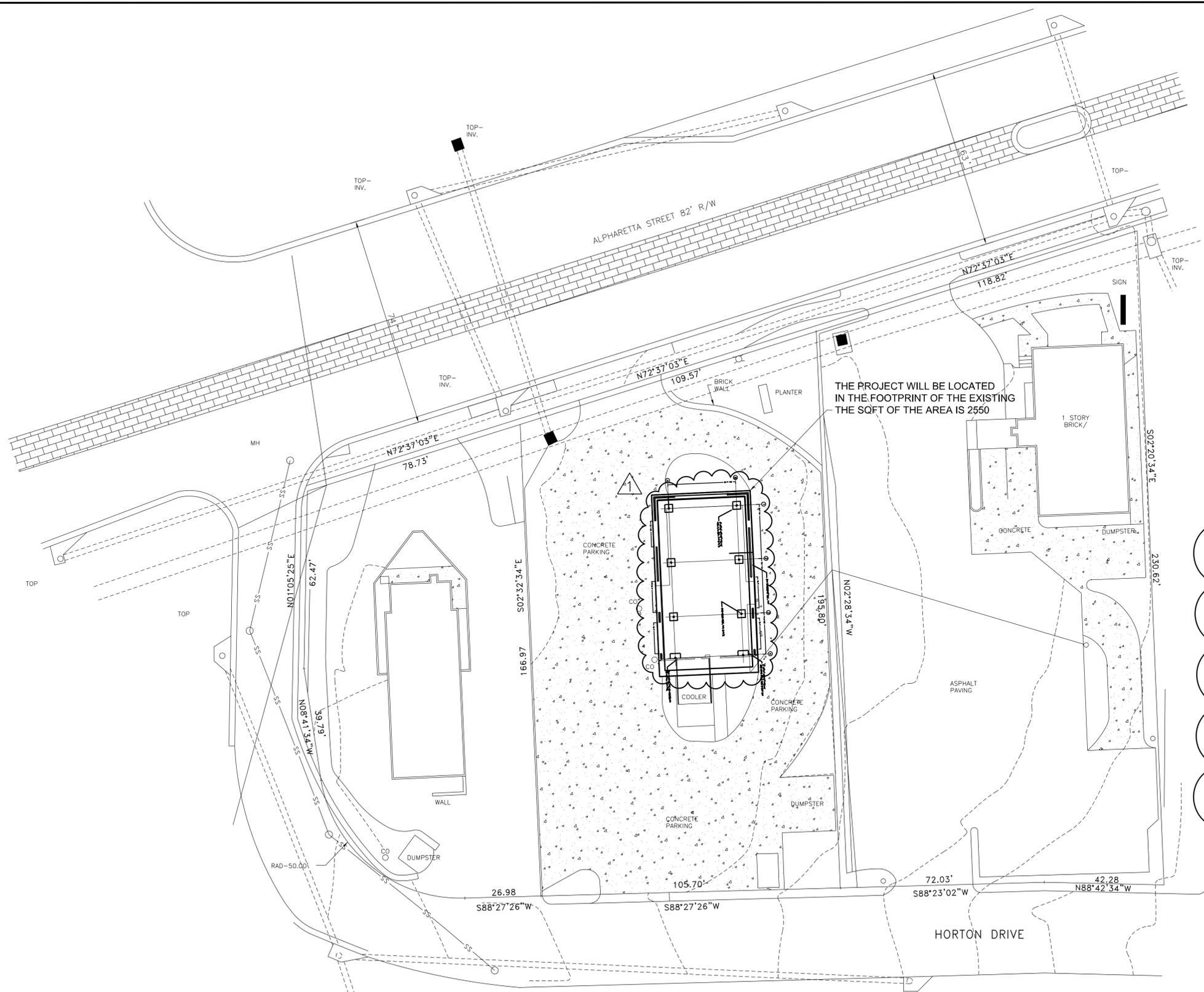
We respectfully request that the City of Roswell accept this Letter of Intent as part of our submittal package for review and approval. Should additional information, clarifications, or supporting documentation be required, please contact me at [Taylor@jwcox.dev](mailto:Taylor@jwcox.dev) or **678-332-9406**.

We appreciate your consideration and look forward to working with the City throughout the review process.

Sincerely,

**Taylor Hicks**  
Office Manager  
JW Cox Development





THE PROJECT WILL BE LOCATED IN THE FOOTPRINT OF THE EXISTING THE SQFT OF THE AREA IS 2550

**SCOPE OF WORK**  
CONVERT THE EXISTING STRUCTURE FROM FAST FOOD RESTAURANT INTO AUTO MECHANIC STOP. WE WILL USE THE EXISTING FOOT PRINT AND CLOSE IN THE OVERHANG POST AREA TO BE USED AS OFFICE SPACE AREA. WE WILL REMOVE THE EXISTING ROOF AND REPLACE WITH NEW METAL ROOF. THE ROOF WILL NOT EXCEED 24' HEIGHT. ON THE FRONT PART OF THE STRUCTURE WE WILL ADD A 2ND FLOOR FOR STORAGE.

SEE BUILDING SPECIFICATIONS ATTACHMENT FOR STRUCTURE DETAILS

**Roswell**  
georgia

October 12, 2023

Roswell Car Care LLC  
10471 Alpharetta St  
Roswell, GA 30075

**Subject: Administrative Design Review Board Application – 20233254**  
**10471 Alpharetta Street**

Staff has reviewed your submission for an Administrative Review application for exterior renovations of 10471 Alpharetta Street Road Staff has approved your application with the following conditions:

- All staff comments must be addressed at requisite permit stage.
- The proposed lighting must not exceed more than 1.5 foot candles at the property line.

Staff has approved your application based upon the following criteria:

- The request meets the requirements of the Unified Development Code and is consistent with the intent or purpose of Chapter 13.6.4.
- The request is consistent with applicable design guidelines.
- The request is consistent with the policies of the comprehensive plan.
- The request will result in a development that is architecturally attractive and aesthetically pleasing.

**Please be aware this approval is for design concept only and permits must be obtained prior to any construction. A copy of this approval letter should be scanned onto the cover sheet of the permit submittal drawings. If you have any questions, please contact me at (770)-564-6275**

Sincerely,  
*Kristen Thommsberger*  
Kristen Thommsberger  
Planner I

38 Hill Street, Roswell, GA 30075  
www.roswellga.gov

Modern Spirit. Southern Soul.

1 PROPOSED SITE PLAN  
C-5 20'-0"=1'

| REV | REVISIONS / SUBMISSIONS         | DATE     |
|-----|---------------------------------|----------|
| 1   | DESIGN REVIEW BOARD (DRB) EDITS | 01/17/25 |
|     |                                 |          |
|     |                                 |          |



NOTES:  
**ISSUE FOR CONSTRUCTION**

**HOME RENOVATIONS**  
CONTACT: SARA  
(T) 323-377-6482  
EMAIL: info@TheHomeRenovations.com

**CAD DESIGNS**  
1245 HILL ST SE  
ATLANTA, GA. 30315  
(T) 404-304-0661 (F) 1-888 510-2694  
CADDESIGNSATL@YAHOO.COM

PROJECT NAME :  
**10471 ALPHARETTA HWY  
ROSWELL, GA 30075**

DRAWING TITLE :  
**PROPOSED SITE PLAN**

DATE : 08/07/2023

SHEET NO. :  
**C-5**

Infiltration Trench

Stormwater Runoff Reduction Target Volume

P 1538.5 Runoff Reduction Target Volume (cu. ft.)  
 1.2 Target runoff reduction rainfall (inches)  
 0.905 Volumetric Runoff coefficient

I 95% new impervious area to the contributing drainage area (%)  
 A 17000 Area draining to the practice (sq. ft.)  
 12 12 Unit conversion factor (in/ft)

RR% 100% Runoff Reduction percentage assigned to the specific practice  
 1538.5 Minimum storage volum required to provide Runoff Reduction  
 1538.5 Target Volume (cu. ft.)  
 1538.5 Runoff Reduction Target Volume (cu. ft.)

Determine the storage volume of the practice and the pretreatment volume

VP = (PV + VES (N))

VP 1552.5 Volume provided  
 PV 287.5 Ponding volume  
 VES 4600 Volume of engineered soils  
 N 0.4 Porosity

Depth of Ponding 0.5  
 Depth of Engineered Soil 8  
 Width of Practice 5  
 Lenth of Practice 115

### Georgia Stormwater Management Manual Stormwater Quality Site Development Review Tool Version 2.2

| General Information      |   |                             |                        |
|--------------------------|---|-----------------------------|------------------------|
| Name of Developer:       | JW COX DEVELOPMENT                        | Date Submitted:             | 11/3/2025              |
| Development Name:        | CAR CAR SHOP                              | Permit Number:              | TO BE DETERMINED (TBD) |
| Site Location / Address: | 10471 ALPHARETTA HWY<br>ROSWELL, GA 30075 | Developer Contact:          | JEFFREY COX            |
|                          |   | Phone Number:               | 678-332-9406           |
|                          |   | Name of Engineer(s):        | DAVID EDWARDS          |
| Development Type:        | Commercial/Retail                         | Maintenance Responsibility: | JEFFREY COX            |

| Site Summary                      |      |  |  |
|-----------------------------------|------|--|--|
| Total Pre-Development Area (ac):  | 0.44 |  |  |
| Total Post-Development Area (ac): | 0.44 |  |  |
| Total Treated Area (ac):          | 0.44 |  |  |
| Total Untreated Area (ac):        | 0.00 |  |  |

|              | I (ac)      | P (ac)      | CA (ac)     |
|--------------|-------------|-------------|-------------|
| DB 1         | 0.34        | 0.10        | 0.00        |
| DB 2         | 0.00        | 0.00        | 0.00        |
| DB 3         | 0.00        | 0.00        | 0.00        |
| DB 4         | 0.00        | 0.00        | 0.00        |
| DB 5         | 0.00        | 0.00        | 0.00        |
| DB 6         | 0.00        | 0.00        | 0.00        |
| DB 7         | 0.00        | 0.00        | 0.00        |
| DB 8         | 0.00        | 0.00        | 0.00        |
| DB 9         | 0.00        | 0.00        | 0.00        |
| DB 10        | 0.00        | 0.00        | 0.00        |
| <b>TOTAL</b> | <b>0.34</b> | <b>0.10</b> | <b>0.00</b> |

I = Impervious Area, P = Pervious Area, CA = Conservation Area

|   |       |
|---|-------|
| Target Runoff Reduction Volume Achieved?  | Yes   |
| Target TSS Removal Achieved?              | Yes   |
| Total Target Runoff Reduction Volume (cf) | 1,429 |
| Runoff Reduction Volume Achieved (cf)     | 1,429 |
| Total Target Water Quality Volume (cf)    | 1,429 |
| % TSS Removal Achieved                    | 100%  |

Total Suspended Solids (TSS) Removal

Runoff Reduction (RR)

| Official Use Only       |  |
|-------------------------|--|
| Tracking #:             |  |
| Reviewed By:            |  |
| Date Approved:          |  |
| Conditions of Approval: |  |



1 INFILTRATION TRENCH  
C-5A CALCULATIONS

2 STORMWATER MANGEMENT  
C-5A CALCULATIONS

NOTES:  
  
**ISSUE FOR CONSTRUCTION**

**HOME RENOVATIONS**  
 CONTACT: SARA  
 (T) 323-377-6482  
 EMAIL: info@TheHomeRenovations.com

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 1245 HILL ST SE  
 ATLANTA, GA. 30315  
 (T)404-304-0661 (F)1-888 510-2694  
 CADDESIGNSATL@YAHOO.COM

PROJECT NAME :  
**10471 ALPHARETTA HWY  
 ROSWELL, GA 30075**

DRAWING TITLE :  
**PROPOSED INFILTRATION TRENCH  
 AND STORMWATER MANAGEMENT**

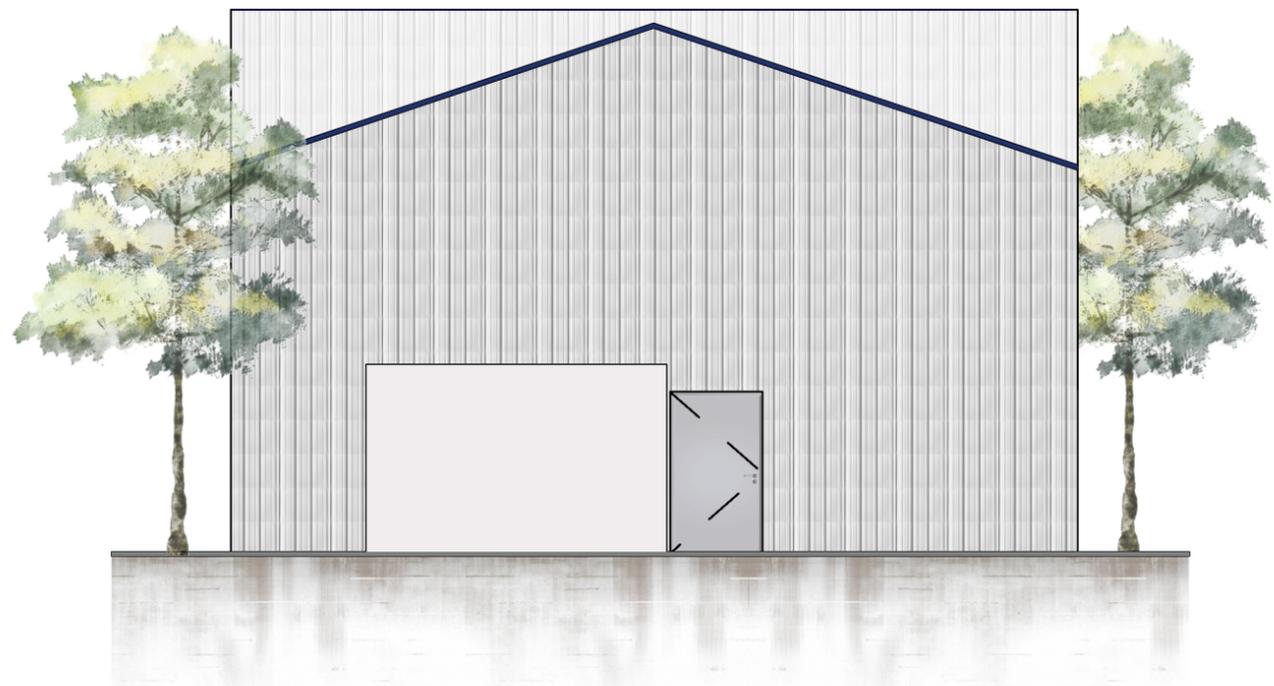
DATE : 11/03/2025

SHEET NO.:  
**C-5A**

Attachment: 4\_Stormwater Management (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)



1 EXISTING FRONT ELEVATION PLAN  
A-115 1/4"=1'-0"



2 EXISTING RIGHTSIDE ELEVATION PLAN  
A-115 1/4"=1'-0"

NOTES:

ISSUE FOR CONSTRUCTION

HOME RENOVATIONS  
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 ATLANTA, GA. 30315  
 (T)404-304-0661 (F)1-888-510-2694  
 CADDESIGNSATL@YAHOO.COM

PROJECT NAME :

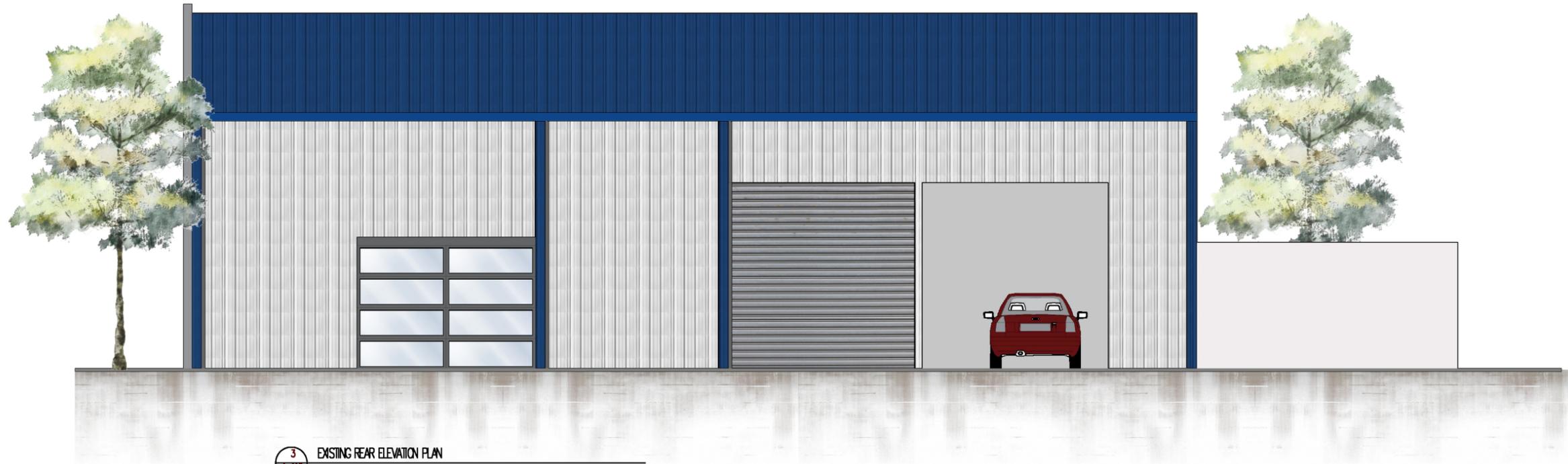
10471 ALPHARETTA HWY  
 ROSWELL, GA 30075



DRAWING TITLE : PRPOSED ELEVATION PLANS

DATE : 25/07/2023

SHEET NO.: A-115



3  
A-115  
EXISTING REAR ELEVATION PLAN  
1/4"=1'-0"



3  
A-117  
PROPOSED LEFT SIDE ELEVATION PLAN  
1/4"=1'-0"

NOTES:  
ISSUE FOR CONSTRUCTION

HOME RENOVATIONS  
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PROJECT NAME :  
10471 ALPHARETTA HWY  
ROSNELL, GA 30075

DRAWING TITLE :  
PRPOSED ELEVATION PLANS  
DATE : 08/07/2023  
SHEET NO.: A-115



**M 2 K**  
**DESIGN STUDIO, LLC**  
 P.O. BOX 72011 MARIETTA, GA 30007-2011  
 T: 678-478-8114

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OWNER:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

▲ CITY COMMENTS 11-26-2025

▲ CITY COMMENTS 10-16-2024

NO. REVISION DATE

**ROSWELL AUTO CARE**  
 10471 ALPHARETTA HWY  
 ROSWELL, GA 30075

Attachment: 5 Elevations and color rendering (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

PROJECT:

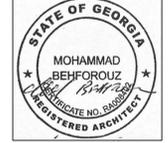
PROJECT NUMBER:

DRAWING TITLE:  
**PROPOSED ELEVATIONS**  
 REVISION

SCALE: AS SHOWN DATE: DECEMBER 12, 2025

DRAWING NO.:

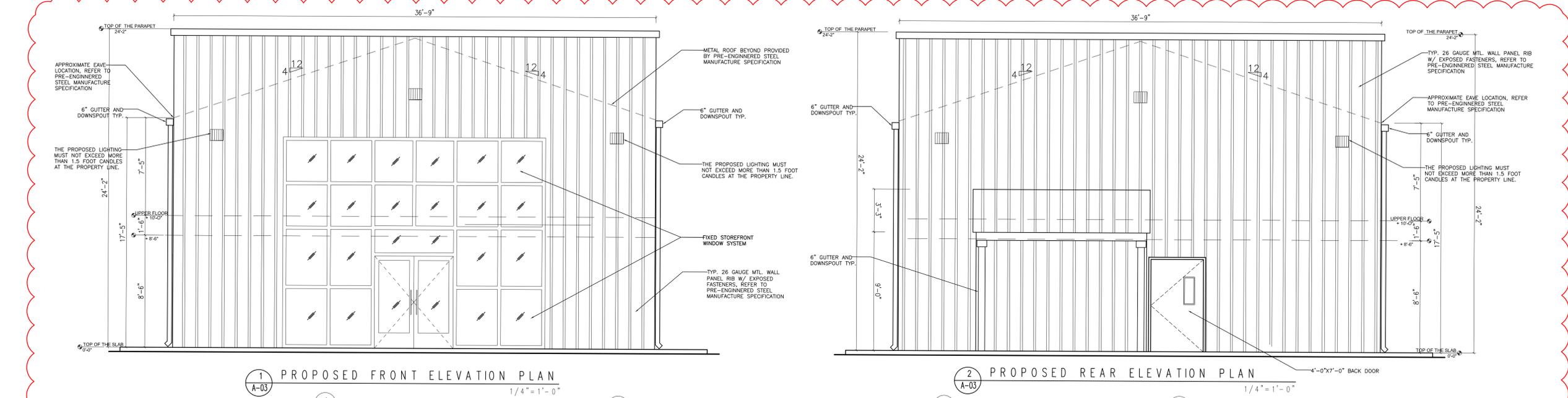
SIGNATURE & SEAL:



12-12-2025

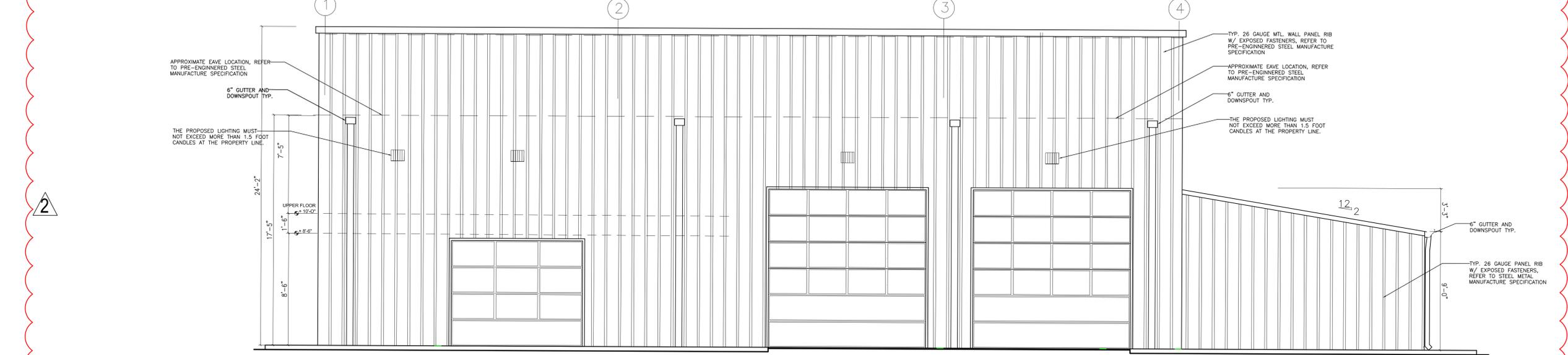
ISSUED/ RELEASED FOR CONSTRUCTION

**A-03**

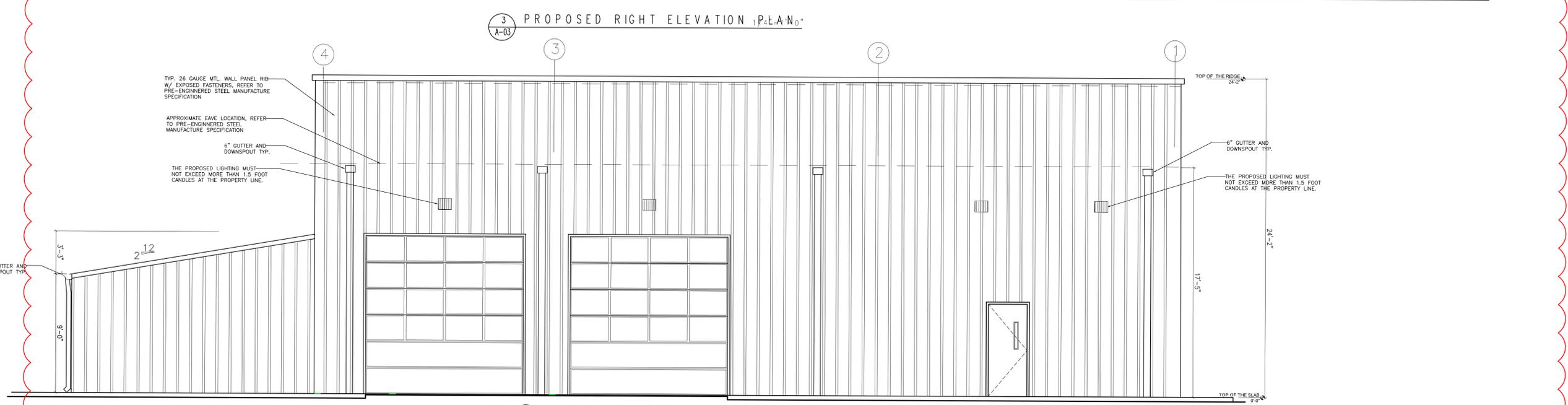


1 PROPOSED FRONT ELEVATION PLAN  
 A-03 1/4" = 1'-0"

2 PROPOSED REAR ELEVATION PLAN  
 A-03 1/4" = 1'-0"



3 PROPOSED RIGHT ELEVATION PLAN  
 A-03 1/4" = 1'-0"



3 PROPOSED LEFT SIDE ELEVATION PLAN  
 A-03 1/4" = 1'-0"

# FINISH BOARD



**LIGHT GRAY  
METAL WALL SIDING**  
PRE-FINISHED / RIBBED METAL PANEL



**DARK GRAY  
METAL SIDING / ROOF**  
PRE-FINISHED / RIBBED METAL PANEL



**BLACK ALUMINUM  
STOREFRONT**



**BLACK METAL ROLL-UP DOOR**  
COMMERCIAL OVERHEAD / TINTED GLASS STAVES



**DARK BRONZE  
LED LIGHT**



**DARK GRAY  
GUTTER & DOWNSPOUT**  
PRE-FINISHED ALUMINUM



**DARK GRAY  
ALUMINUM**  
PRE-FINISHED ALUMINUM

Attachment: 6\_Material Sample Page (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

**APPLICATION INTAKE**

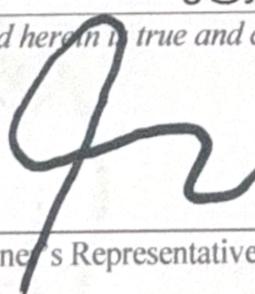
In Person: 8:00 am – 4:00 pm

By Email: [planningandzoning@roswellgov.com](mailto:planningandzoning@roswellgov.com)



**DESIGN REVIEW BOARD APPLICATION**

**Before submitting an application, please contact Planning and Zoning to determine if a pre-application meeting is required. Preapplication Meeting Date: \_\_\_\_\_**

|  |  |  |  |
|--|--|--|--|
| <b>Application Number:</b>   |  |  |  |
| Type of Request:   |  | <input type="checkbox"/> Major   | <input checked="" type="checkbox"/> Administrative |
| Estimated Cost: ___ Less Than \$50,000 <input checked="" type="checkbox"/> Greater Than \$50,000   |  |  |  |
| <b>PROJECT DESCRIPTION</b>   |  |  |  |
| Name of Project: <b>Roswell Car Care</b>   |  | PIN:   |  |
| Project Address: <b>10471 Alpharetta St. Roswell Ga 30075</b>  |  |  |  |
| <u>Building/ Renovation</u><br><input checked="" type="checkbox"/> New Construction <u>3000</u> sq. ft.<br>___ Renovation (No change to building footprint)<br>___ Building Addition _____ sq. ft. |  | <u>Site Work</u><br>___ Site work greater than 5000 sq ft.<br><input checked="" type="checkbox"/> Site work less than 5000 sq. ft. |  |
| <b>CONTACTS</b>  |  |  |  |
| <b>Applicant/Representative</b>  | Name/Company Name: <b>Maziar Mehrparvar</b>    |  |  |
|  | Address: <b>2695 Augeron CT</b>                |  |  |
|  | City: <b>Milton</b>                            | State: <b>gA</b>   | Zip: <b>30004</b>                                  |
|  | Email: <b>MAXMEHR@YMAIL.COM</b>                |  | Phone: <b>404-422-2229</b>                         |
| <b>Property Owner</b>  | Name/Company Name: <b>Roswell Car Care LLC</b> |  |  |
|  | Address: <b>10471 Alpharetta St</b>            |  |  |
|  | City: <b>Roswell</b>                           | State: <b>Ga</b>   | Zip: <b>30075</b>                                  |
|  | Email: <b>carolinefinancing@yahoo.com</b>      |  | Phone: <b>770-552-7272</b>                         |
| <i>I hereby certify that all information provided herein is true and correct.</i>  |  |  |  |
|    |  |  | <b>11/03/2025</b>                                  |
| Applicant Signature: Property Owner or Owner's Representative  |  |  | Date   |

**\*Please refer to Section 13.6 of the Unified Development to determine if your project is categorized as an Administrative or Major Review\***  
City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • [www.roswellgov.com](http://www.roswellgov.com)  
Planning and Zoning Division Application • Rev 12/27/2024

Attachment: 7 Signed application (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

SIGNATURE PAGE

READ CAREFULLY BEFORE SIGNING.

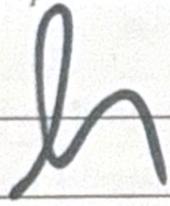
- I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the *Unified Development Code*) will result in **REJECTION OF THE APPLICATION**.
- I understand that the application may not be approved if applicant plans to attend the Design Review Board meeting without required items or if the applicant presents plans that differ from submittal materials.
- I understand that I will become familiar with applicable zoning code and Design Guidelines.

I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in **THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY**

Applicant or Representative Signature  Date 11/03/2025

*I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.*

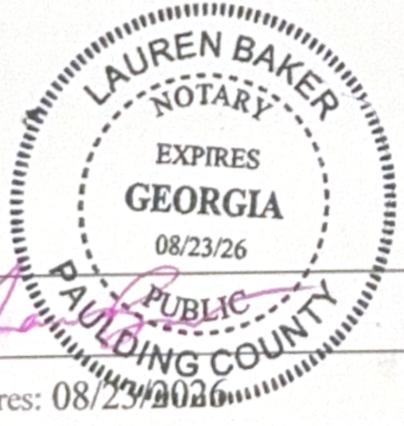
*I hereby certify that all information provided herein is true and correct*

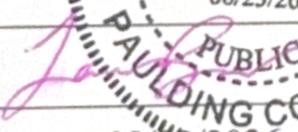
Property Owner Signature  Date 11/03/2025

Address: 10471 Alpharetta Street

City: Roswell State: Ga Zip: 30075

NOTARY: Personally appeared before me the above applicant or representative named Maziar Mehrparvar who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge



Notary Signature  Date 11/03/2025

Date commission expires: 08/23/2026

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| ADDITIONAL CONTACTS |                                     |                     |
|---------------------|-------------------------------------|---------------------|
| Architect           | Name/Company Name:                  |                     |
|                     | Email:                              | Phone:              |
| Engineer            | Name/Company Name: David Edwards PE |                     |
|                     | Email: dave@davidedwardspe.com      | Phone: 404-391-7192 |
| Landscape           | Name/Company Name:                  |                     |
|                     | Email:                              | Phone:              |
| Other               | Name/Company Name:                  |                     |
|                     | Email:                              | Phone:              |
| Other               | Name/Company Name:                  |                     |
|                     | Email:                              | Phone:              |

| Fee Schedule – Design Review Board               |       |
|--|-------|
| Design plan review – Major (Projects > \$50,000) | \$850 |
| Design plan review – Major (Projects <50,000)    | \$500 |
| Administrative                                   | \$200 |

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Attachment: 7\_Signed application (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)

## DESIGN PLAN REVIEW CHECKLIST

**The following application materials are required for all Major applications:**  
**If applying for an Administrative application, please confirm with Planning and Zoning the submittal requirements – [planningandzoning@roswellgov.com](mailto:planningandzoning@roswellgov.com)**

1. Completed and signed/ notarized application form.
2. Letter of Intent describing the proposed scope of work.
3. Proof of a Stormwater Concept (applicant must contact Stormwater Reviewer).
4. Site plan, which must contain all site development statistics:
  - Total site area
  - Primary/side street build-to-zone and building in primary street BTZ (min % of lot width)
  - Building footprint [SF & %],
  - Gross Square Footage
  - Parking space numbers (existing, proposed, and how many are required per UDC)
  - Total impervious surface [SF & %]
  - Outdoor amenity space [SF & %]
  - Landscape open space [SF & %]
  - All required buffers
5. A rendering and all four side elevations which must contain:
  - Dimensions
  - Colors and materials labelled
  - Primary and side street transparency %
  - Upper and ground floor transparency %
  - Maximum blank wall area
  - Floor-to-floor heights
  - If bulk plane is applicable, provide a detailed elevation showing the bulk plane for the proposed building(s).
6. Drawings meeting the intent of section 10.2.8 Screening (both utility and dumpster).
7. Digital copy of material sample board for all doors, windows, paint chips, exterior façade material selections (siding, brick, roof material etc), awnings, lighting, all exterior structures such as playground equipment or pergolas, fencing, pavers, planters, or any new materials being introduced to the exterior of the building or on the site.
8. Landscape plan(s) and tree survey(s) which must contain all landscape development information (planting list with common name, current & proposed tree density units, buffers and landscape strips, and proposed tree removal).
9. Provide justification for removal of specimen trees in accordance with section 12.1.3, letter B, #1
10. Topographical survey of the property.
11. Proposed grading plan.
12. If there are proposed retaining walls, please
  - Provide information on a grading plan indicating the top of the wall and the bottom of wall(s);
  - Provide an example of the material for the proposed wall(s); and
  - A profile and cross-section of the proposed wall(s).
13. Photometric Plan.
14. Steep slopes analysis and traffic impact study if required (applicant must contact City Engineer and RDOT). If required, this analysis and study must be submitted prior to the application submittal.
15. **Digital copy of all required documentation.**
16. **Application fees must be paid before application can be reviewed. (see fee schedule)**

\*Please refer to Section 13.6 of the Unified Development to determine if your project is categorized as an Administrative or Major Review\*  
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**\*\*ALL APPLICATIONS MUST BE REVIEWED AND APPROVED BY ALL CITY DEPARTMENTS BEFORE BEING ADVERTISED AND PLACED ON AN AGENDA \*\***

- Design Review Board meetings are held in City Hall Council Chambers at 6:30 PM on the 1<sup>st</sup> Tuesday of each month.

| 2025 DESIGN REVIEW BOARD MEETING DATES                         |
|--|
| Tuesday January 7, 2025  |
| Tuesday, February 4, 2025                                      |
| Tuesday, March 4, 2025   |
| Tuesday, April 1, 2025   |
| Tuesday, May 6, 2025   |
| Tuesday, June 3, 2025  |
| Tuesday, July 1, 2025  |
| Tuesday, August 5, 2025  |
| Tuesday, September 2, 2025                                     |
| Tuesday, October 7, 20245                                      |
| Thursday, November 6, 2025** Meeting moved due to Election Day |
| Tuesday, December 2, 2025                                      |

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Attachment: 7 Signed application (ZDRB-1125-000008 - 10471 Alpharetta Street - New construction)



**City of Roswell**  
**Design Review Board**  
**AGENDA ITEM REPORT**

ID # - 10237

---

**MEETING DATE:** March 3, 2026  
**DEPARTMENT:** Design Review Board  
**ITEM TYPE:** Election

---

## 2026 Elections

**Item Summary:**

Election of the Design Review Board Chair for 2026  
Election of the Design Review Board Vice Chair for 2026

**Committee or Staff Recommendation:**

NA

**Financial Impact:**

NA

**Recommended Motion:**

NA

**Presented by:**

Kristen Thomasberger, Planner II



**City of Roswell**  
**Design Review Board**  
**AGENDA ITEM REPORT**

**ID # - 10335**

---

**MEETING DATE:** March 3, 2026  
**DEPARTMENT:** Design Review Board  
**ITEM TYPE:** Minutes

---

**January 6, 2026 DRB Minutes**

**Item Summary:**

January 6, 2026 DRB Minutes



## Design Review Board

Regular Meeting  
<http://www.roswellgov.com/>  
 ~Minutes~

Chair Jeffrey Green  
 Vice Chair Mark Stovall  
 Board Member Ian Atkinson  
 Board Member Michael Guobaitis  
 Board Member Arie Kohn  
 Board Member Phiffer Reed

Tuesday, January 6, 2026

6:30 PM

City Hall - Council Chambers

**\*\* Possible Quorum of Mayor and City Council \*\***

### Welcome

#### I. Call to Order

The meeting was called to order at 6:34 PM by Chair Jeffrey Green  
 Chair Jeffrey Green: Present, Vice Chair Mark Stovall: Present, Board Member Ian Atkinson: Absent, Board Member Michael Guobaitis: Present, Board Member Arie Kohn: Present, Board Member Phiffer Reed: Present, Planner II Kristen Thomasberger: Present.

#### II. Initial

##### 1. ZDRB-1125-000013 - 10965 Woodstock Rd - Relocation of Existing Modular Classrooms

*The DRB unanimously voted to hear item as a final.*

*Item was approved with the following conditions:*

1. *All staff conditions must be addressed at requisite permit stage.*
2. *A landscape plan showing new landscaping along the new retaining wall must be submitted as an administrative DRB prior to LDP approval.*

|                  |   |
|------------------|---|
| <b>RESULT:</b>   | <b>APPROVED WITH CONDITIONS [UNANIMOUS]</b> |
| <b>MOVER:</b>    | Mark Stovall, Vice Chair                    |
| <b>SECONDER:</b> | Michael Guobaitis, Board Member             |
| <b>IN FAVOR:</b> | Green, Stovall, Guobaitis, Kohn, Reed       |
| <b>ABSENT:</b>   | Ian Atkinson                                |

**III. Elections****2. 2026 Elections**

*Due to the upcoming expiring terms for three DRB members, the DRB unanimously voted to defer elections to the next meeting.*

|                  |                                       |
|------------------|---------------------------------------|
| <b>RESULT:</b>   | <b>DEFERRED [UNANIMOUS]</b>           |
|                  | <b>Next: 2/3/2026 6:30 PM</b>         |
| <b>MOVER:</b>    | Mark Stovall, Vice Chair              |
| <b>SECONDER:</b> | Phiffer Reed, Board Member            |
| <b>IN FAVOR:</b> | Green, Stovall, Guobaitis, Kohn, Reed |
| <b>ABSENT:</b>   | Ian Atkinson                          |

**IV. Approval of Minutes****3. December 12, 2025 DRB Minutes**

|                  |                                       |
|------------------|---------------------------------------|
| <b>RESULT:</b>   | <b>APPROVED [UNANIMOUS]</b>           |
| <b>MOVER:</b>    | Arie Kohn, Board Member               |
| <b>SECONDER:</b> | Phiffer Reed, Board Member            |
| <b>IN FAVOR:</b> | Green, Stovall, Guobaitis, Kohn, Reed |
| <b>ABSENT:</b>   | Ian Atkinson                          |

**V. Adjournment**

There being no further comments or discussion the meeting was adjourned at 6:56 PM